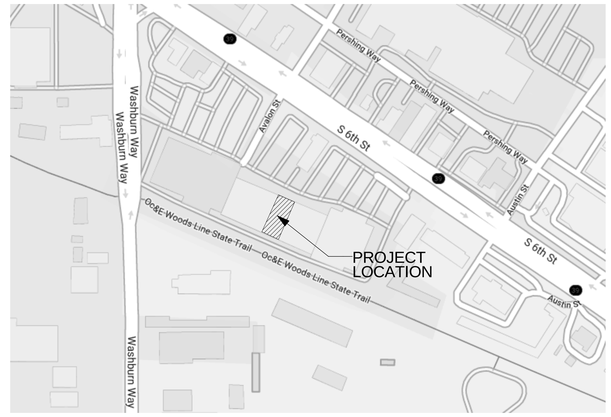
ULTA BEAUTY TI - (SHELL PACKAGE)

A
A0.0
SITE PLAN
SCALE: 1" = 50'-0"



VICINITY MAP N.T.S.

CODE SUMMARY (ULTA BEAUTY)

THESE DRAWINGS ARE BASED ON THE 2014 OSSC.

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION
SECTION 302 M (MERCANTILE)

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS
ALLOWABLE HEIGHT: 1 STORY/ 9,000 SF
ALLOWABLE INCREASE OF 300% (3 x 9,000 SF) FOR FULLY SPRINKLERED BLDG.
=9,000 SF + 27,000 SF = 36,000 SF

ALLOWABLE AREA: 36,000 SF

TENANT AREA = 10,098 SF

TOTAL BUILDING (FIRE) AREA: 32,598 SF

CHAPTER 6 - TYPE OF CONSTRUCTION
V-B, FULLY SPRINKLERED

CHAPTER 9 - FIRE PROTECTION SYSTEM
BUILDING IS FULLY SPRINKLERED

CHAPTER 10 - MEANS OF EGRESS
TABLE 1004.1.1 MAXIMUM FLOOR AREA PER OCCUPANT

SECTION 1005.1 - MINIMUM REQUIRED EGRESS WIDTH
TOTAL OCCUPANTS = 313
REQUIRED WIDTH 0.2 PER OCCUPANT = 68"
ACTUAL WIDTH = 33"+ 66" = 99"

TABLE 1021.1 MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD
TOTAL OCCUPANTS = 313
MINIMUM NUMBER OF EXITS = 2
NUMBER PROVIDED = 2

PER TABLE 1004.1.1 MAXIMUM FLOOR AREA PER OCCUPANT			
ROOM	AREA (S.F.)	OCCUPANCY PER 1004.1.1	
SALES	9,298	30 S.F./OCC.	310
BACKSTOCK/ LOADING AREA, ETC.	800	300 S.F./OCC.	3
	10,098		313
	TOTAL OCCUPANTS PER CODE =		313

DEFERRED SUBMITTAL LIST

THE FOLLOWING SYSTEMS OR COMPONENTS ARE DESIGNED BY OTHERS BUT MAY REQUIRE REVIEW AND APPROVAL BY THE BUILDING OFFICIAL AS PRESCRIBED IN SECTION 107.3.4.2. OF THE 2014 O.S.S.C. AS STATED IN THE SECTION ABOVE, THEIR SUBMISSION MAY BE DEFERRED WHEN APPROVED BY THE BUILDING OFFICIAL.

TENANT IMPROVEMENT PLANS
FIRE SPRINKLER PLANS
FIRE ALARM PLANS
AWNING PLANS

SHEET INDEX

PAGE #	TITLE
A0.0	SITE PLAN AND CODE SUMMARY
A1.0	DEMOLITION PLAN & MAIN FLOOR PLAN
A2.0	ELEVATION, SECTION AND MISC. DETAILS
S1.0	STRUCTURAL SECTIONS
S2.0	HVAC REINFORCEMENT PLAN
M-1	MECHANICAL REFLECTED CEILING PLAN, NOTES, AND SYMBOLS
M-2	MECHANICAL SCHEDULES AND DETAILS
M-3	MECHANICAL SPECIFICATIONS
M-4	MECHANICAL SPECIFICATIONS
E0-1	DRAWING INDEX, SCHEDULES, NOTES & SYMBOL LIST
E0-2	ELECTRICAL ONE LINE DIAGRAMS
E0-3	PANEL SCHEDULES
E1-0	FLOOR PLAN-LIGHTING
E2-0	FLOOR PLAN-POWER & SPECIAL SYSTEMS
E3-0	ELECTRICAL SPECIFICATIONS
P-1	PLUMBING NOTES
P-2	PLUMBING PLANS AND NOTES
P-3	PLUMBING DETAILS
P-4	PLUMBING SPECIFICATIONS
P-5	PLUMBING SPECIFICATIONS

08/02/2019

REGISTERED PROFESSIONAL ENGINEER
55160PE
OREGON
JULY 9, 2019
SHAWN STONEBERG
EXPIRES: 6/30/ 20

REVISIONS		
No.	DATE	DESCRIPTION
1	9/2/19	TENANT REQUESTED REVISIONS

PROJECT:
ULTA BEAUTY TI - (SHELL PACKAGE)

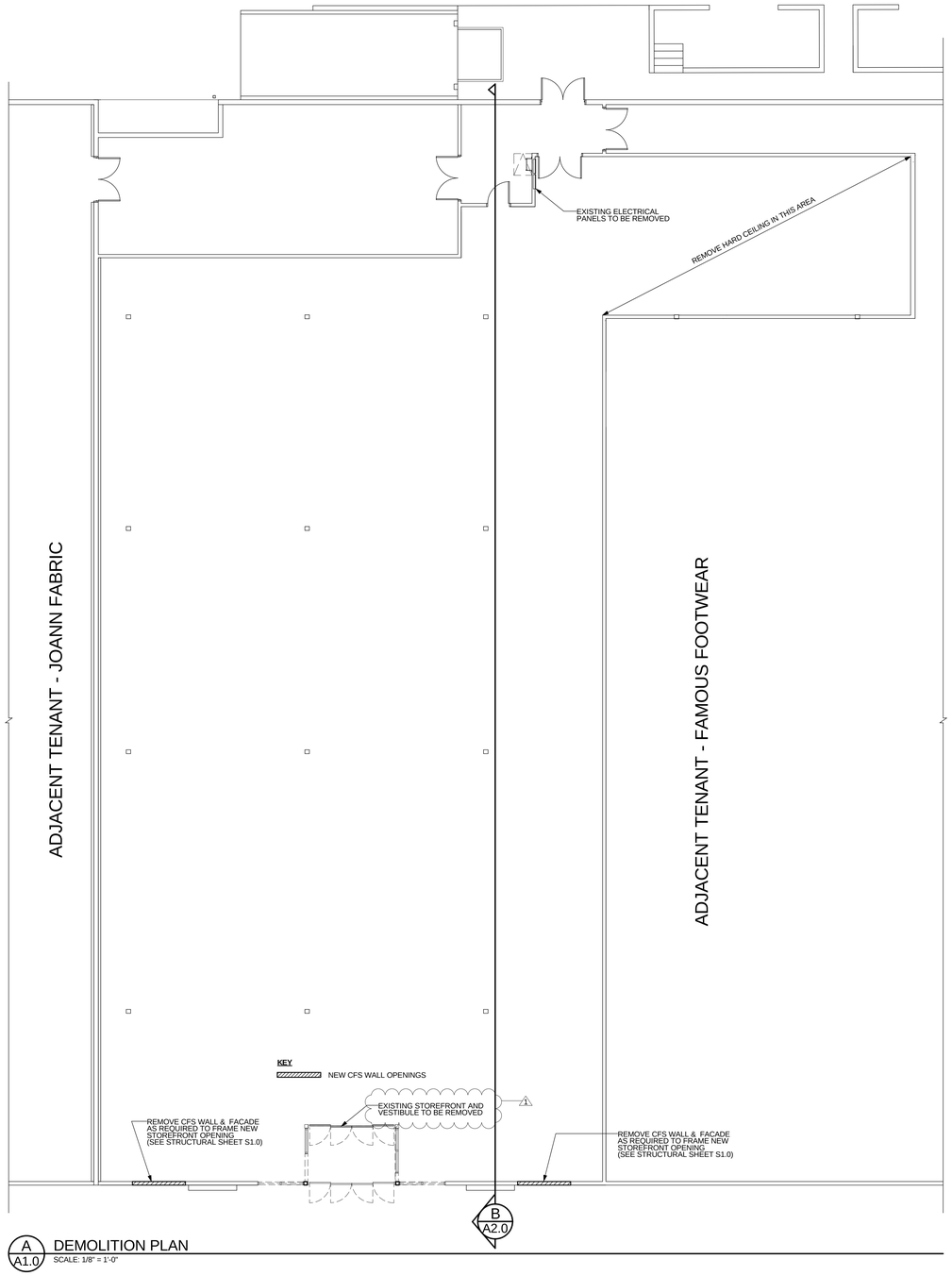
LOCATION:
2870 S 6TH STREET,
KLAMATH FALLS, OR 97603

SHEET TITLE:
SITE PLAN AND CODE SUMMARY

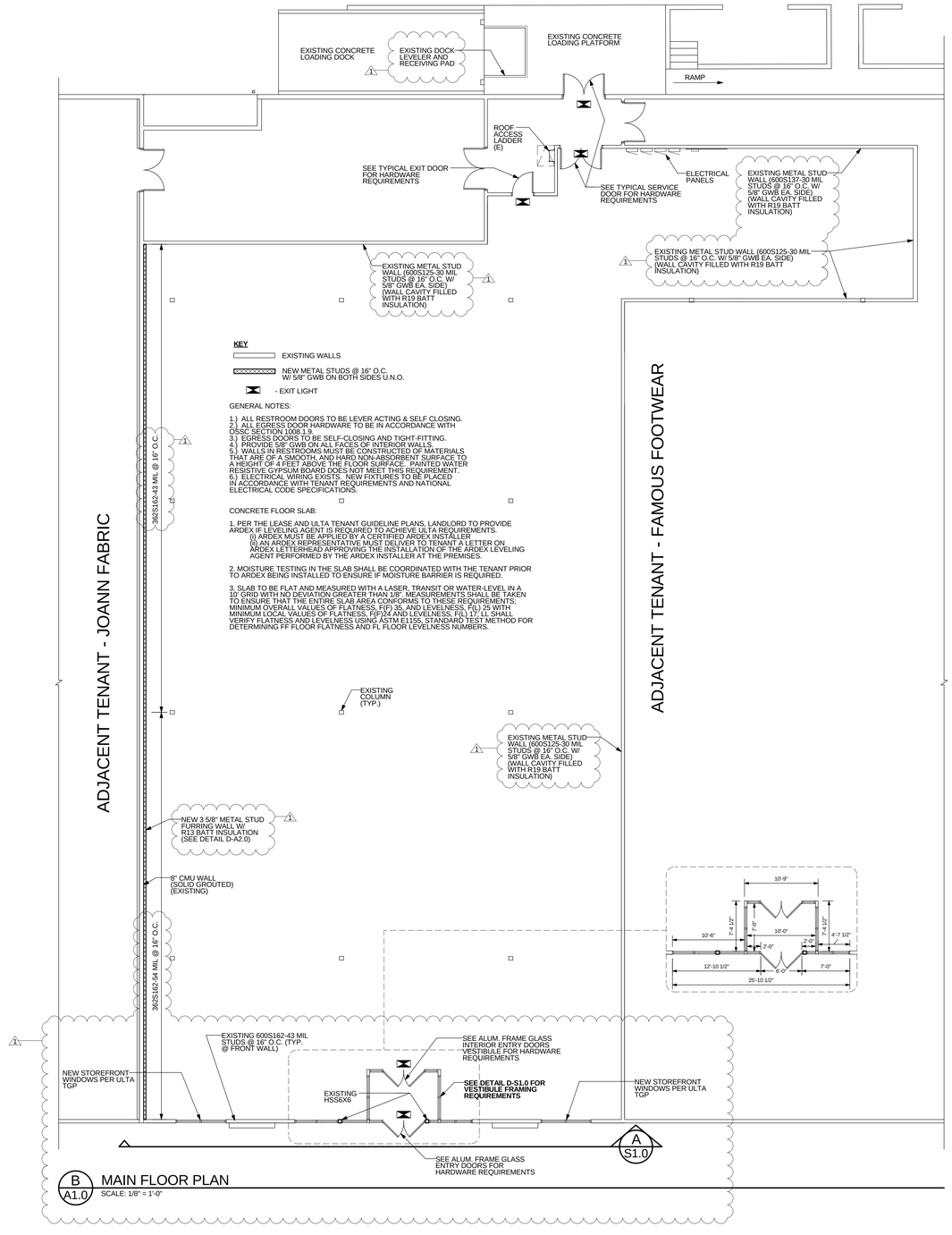
CLIENT:
DICKERHOOF PROPERTIES

STABILITY ENGINEERING INC.
777 NE 2ND ST. SUITE 280
P.O. BOX 2646, CORVALLIS, OR 97339
TEL.: (541)223-5360 FAX: (541)223-5278

JOB NO. 19-0216
DATE: JUNE 10, 2019
DRAWN: PS
SCALE: AS SHOWN
SHEET **A0.0**

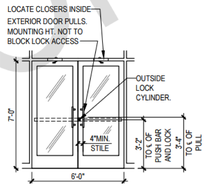


A A1.0 **DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"



B A1.0 **MAIN FLOOR PLAN**
SCALE: 1/8" = 1'-0"

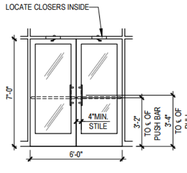
MAXIMUM WALL HEIGHT	STUD SIZE	SPACING	REMARKS	NOTES:
13'-6"	362S162-33	16" O.C.		1. ALL STEEL TO BE MIN. Fy = 33 KSI U.N.O. 2. ALL STUDS WITH GYP. BD. ON ONE SIDE TO BE BRACED WITH SPAZZER 5400 BRIDGING BAR @ 4'-0" O.C., VERTICALLY. SEE DETAIL C-A2.0. 3. GAUGE EQUIVALENT STUDS WILL NOT BE ACCEPTED. 4. RUNNER TRACK THICKNESS TO MATCH STUD. 5. ATTACH NEW LIGHT GAUGE STEEL WALLS TO SLAB WITH (2) 8D GUN NAILS @ 16" O.C..
16'-0"	362S162-43	16" O.C.		
18'-0"	362S162-54	16" O.C.		
20'-0"	362S162-68 ALT. 600S162-33	16" O.C.		
22'-0"	600S162-33	16" O.C.		
24'-0"	600S162-43	16" O.C.		
26'-0"	600S162-54	16" O.C.	Fy = 50 KSI	
28'-0"	600S162-54	16" O.C.	Fy = 50 KSI	
30'-0"	800S162-43	16" O.C.		



ALUM. FRAME GLASS ENTRY DOORS-TYP.

DOOR HARDWARE

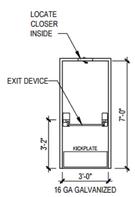
3 PR. BUTTS: 4 1/2" X 4 1/2" B.B. W/ NON REMOV. PINS (BY S.F. MFR)
2 EXIT DEVICES ADAMS RITE 8600-36-US32D-MEC
1 CVR ESCUTCHEON KIT ADAMS RITE 8650-US32D
1 MORTISE CYLINDERS BEST 7 PIN SFIC COMPATIBLE
2 PULL DOOR HANDLES ROCKWOOD RM3131 STAINLESS STEEL (CTC 12") CONTACT: KORY CHANDLER AT LOCKNET TOLL FREE: (800) 887-4307 EXT. 175 EMAIL: korycc@locknet.com 3 WEEKS LEAD TIME FOR DELIVERY
2 CLOSERS: TOP JAMB MOUNT
1 THRESHOLD IN COMPLIANCE W/ ANSI CABO 117.A 4.13.8 - PEMKO #255A
2 SETS GASKETING & SILL SWEEP (BY S.F. MFR)



ALUM. FRAME GLASS INTERIOR ENTRY DOORS-VESTIBULE

DOOR HARDWARE

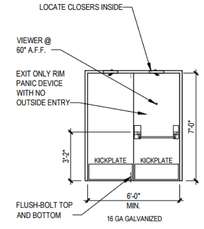
3 PR. BUTTS: 4 1/2" X 4 1/2" B.B. W/ NON REMOV. PINS (BY S.F. MFR)
2 PUSH SETS ROCKWOOD 47 SERIES STAINLESS STEEL (CTC 33")
2 PULL DOOR HANDLES ROCKWOOD RM3131 STAINLESS STEEL (CTC 12") CONTACT: KORY CHANDLER AT LOCKNET TOLL FREE: (800) 887-4307 EXT. 175 EMAIL: korycc@locknet.com 3 WEEKS LEAD TIME FOR DELIVERY
2 CLOSERS: TOP JAMB MOUNT
2 SETS GASKETING & SILL SWEEP (BY S.F. MFR)
1 THRESHOLD (ALUMINUM FINISH IN COMPLIANCE W/ ANSI CABO 117.A 4.13.8



TYPICAL EXIT DOOR (INSUL.HOLLOW METAL)

DOOR HARDWARE

1-1/2 PR. BUTTS: 4 1/2" x 4 1/2" HEAVY DUTY W/ NON REMOV. PINS
1 EXIT DEVICE:
1 THRESHOLD (ALUMINUM FINISH) IN COMPLIANCE W/ ANSI CABO 117.A 4.13.8
1 WEATHER STRIPPING: DOOR JAMB STRIP SILL PROTECTION
1 KICKPLATE: ROCKWOOD K1650 10" HIGH X 34" WIDE - US32D-10X34-CS (ON INTERIOR SIDE)
1 CLOSER: TOP JAMB MOUNT ALUMINUM - HEAVY DUTY WITH THRU BOLT



TYPICAL SERVICE DOOR (INSUL. HOLLOW METAL)

DOOR HARDWARE

3 PR. STAINLESS STEEL BUTTS: 4 1/2" x 4 1/2" HEAVY DUTY W/ NON REMOV. PINS
1 PR. AUTOMATIIC FLUSH BOLT W/ DUST PROOF STRIKE ON (INACTIVE DOOR)
1 EXIT DEVICE:
2 CLOSERS: HEAVY DUTY WITHRU BOLTS: 1609 STRIKE
1 THRESHOLD IN COMPLIANCE W/ ANSI CABO 117.A 4.13.8
1 WEATHER STRIPPING: DOOR JAMB STRIP SILL PROTECTION ASTRAGAL
1 VIEWER: ('ASD' DS238 OR EQUAL)
2 KICKPLATES: ROCKWOOD K1050 10" HIGH X 34" WIDE US32D-10X34-CS (ON INTERIOR SIDE)
1 RAIN HOOD AT EXTERIOR
(IF OUTSIDE ENTRY IS REQUIRED PER CODE, PROVIDE NIGHT LATCH.)

08/02/2019

REGISTERED PROFESSIONAL ENGINEER
55 OCAPE
OREGON
JULY 9, 2019
SHAWN STONEBERG
EXPIRES: 6/30/ 20

REVISIONS		
No.	DATE	DESCRIPTION
1	9/2/19	TENANT REQUESTED REVISIONS

PROJECT:
ULTA BEAUTY TI - (SHELL PACKAGE)

LOCATION:
2870 S 6TH STREET,
KLAMATH FALLS, OR 97603

SHEET TITLE:
DEMOLITION PLAN & MAIN FLOOR PLAN

CLIENT:
DICKERHOOF PROPERTIES

STABILITY ENGINEERING INC.
777 NE 2ND ST. SUITE 280
P.O. BOX 2646, CORVALLIS, OR 97339
TEL.: (541)223-5360 FAX: (541)223-5278

JOB NO. 19-0216
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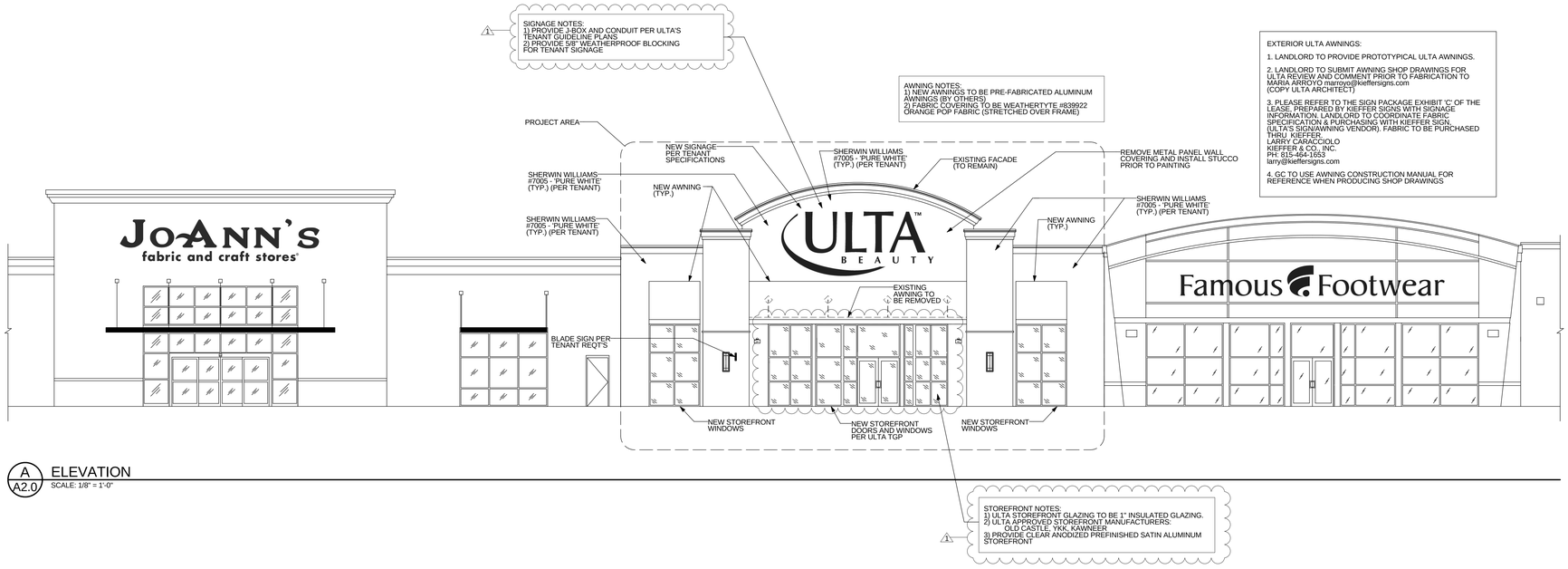
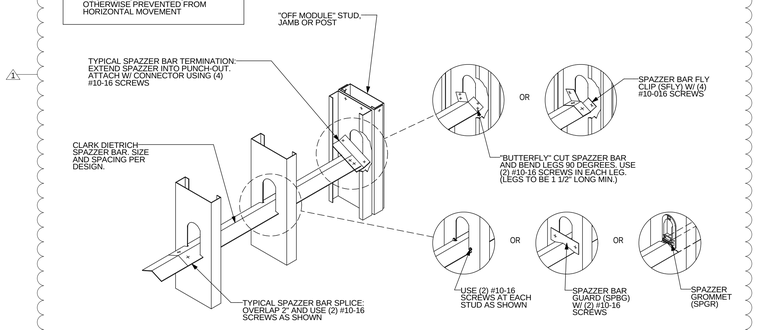
DRAWN: PS
SCALE: AS SHOWN
SHEET **A1.0**

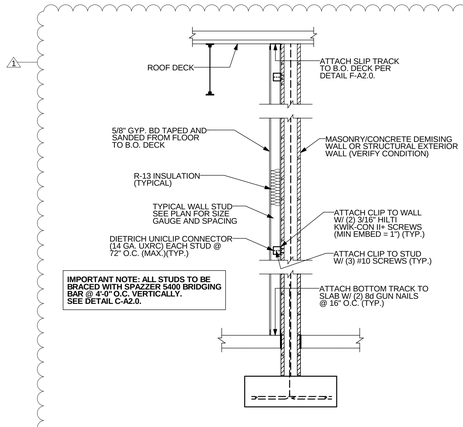


A A2.0 ELEVATION
SCALE: 1/8" = 1'-0"

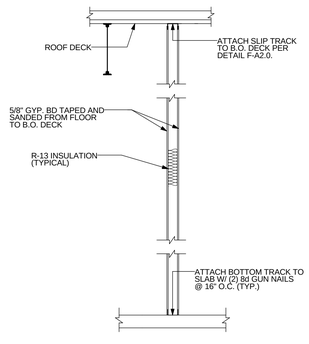
B A2.0 EXISTING BUILDING SECTION
SCALE: 1/8" = 1'-0"



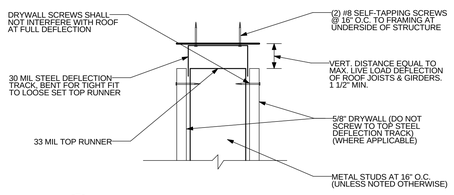
C A2.0 PARTITION DETAIL - LATERAL BRACING
NOT TO SCALE



D A2.0 CMU PERIMETER WALL CONDITION
NOT TO SCALE



E A2.0 PARTITION WALL CONDITION
NOT TO SCALE



F A2.0 TOP PLATE DETAIL
NOT TO SCALE

08/02/2019

REGISTERED PROFESSIONAL ENGINEER
55108PE
OREGON
JULY 9, 2019
SHAWN STONEBERG
EXPIRES: 6/30/ 20

REVISIONS		
No.	DATE	DESCRIPTION
1	8/2/19	TENANT REQUESTED REVISIONS

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